



**TOWN OF PURCELLVILLE
BOARD OF ARCHITECTURAL REVIEW**

April 21, 2014
7:30 p.m.

- 1) **Call to Order** – Pat Giglio, Chairman
- 2) **Public Comments** – Citizens who are not representing an application before the Board will be given an opportunity to speak (3 minute limit per speaker)
- 3) **Action Items – Additions, Alterations & Demolitions:**
 - a) None
- 4) **Action Items – Amendments:**
 - a) None
- 5) **Action Items – New Construction:**
 - a) None
- 6) **Discussion Items**
 - a) CDA14-04 Southern States (261 North 21st Street)
- 7) **Information Items**
 - a) None
- 8) **Approval of Minutes:**
 - a) February 18, 2014 Regular Meeting
 - b) March 18, 2014 Regular Meeting
- 9) **Adjournment**

If you require any type of reasonable accommodation as a result of physical, sensory or mental disability in order to participate in this meeting OR if you would like an expanded copy of this agenda, please contact the Department of Planning at (540) 338-2304 at least twenty-four hours in advance of the meeting. Expanded copies of the agenda may not be available the night of the meeting, please request a copy in advance.

USE OF ELECTRONIC DEVICES DURING MEETINGS For the comfort and consideration of others, all cellular phones must be turned off and cannot be used in the Council Chambers. Pagers must be set on silent or vibrate mode. This is requested because of potential interference with our recording devices and the transmittal of our hearing impaired broadcast.



STAFF REPORT

TO: Chairman and Members of the Board of Architectural Review
FROM: Daniel Galindo, AICP
RE: CDA14-04 Southern States Preliminary Review
DATE: April 18, 2014

Name:	<u>Southern States</u>	Location:	<u>West of N 21st just north of downtown</u>
Project:	<u>N/A</u>	Tax Map Number:	<u>/35A1/222///4/ & /35/////////69B</u>
Address:	<u>261 North 21st Street</u>	Loudoun County PIN:	<u>488-46-5723 & 488-46-4527</u>
Located in the Historic District?	<u>Yes</u>	Contributing Structure?	<u>No</u>
Zoning District:	<u>C-4/HC</u>	Conformity:	<u>N/A</u>

Comments: Construction of 12,000 sf building to replace existing building constructed in the 1950s. Construction would be phased to allow the business to stay open during construction.

The application is evaluated under the Design Guidelines for the Town of Purcellville, Virginia (Guidelines).

BACKGROUND

The Southern States Loudoun County Cooperative is planning to build a new 12,000 square foot retail and warehouse building at its existing location to replace the existing 1950s building which will be demolished. Construction on the site will be phased, as shown on site plan TP14-01 currently under review by the Department of Community Development, to allow the business to stay open throughout construction. Because the existing building does not qualify as a historic structure under the definition contained within Article 14A, Section 2.4 of the Zoning Ordinance, BAR approval of its demolition is not required.



Southern States originally submitted documents for a prototype facility that lacked some of the information required for BAR consideration. Conversations between the applicant and staff led the applicant to agree to an initial informal discussion of the application at staff's request. Drawings at the required 1/4" = 1' scale and answers to staff questions have since been submitted to aid the discussion. That response is attached to this preliminary report. Formal approval will be requested at a later meeting.

GUIDELINES ANALYSIS

The following issues should be considered by the BAR while evaluating CDA14-04:

1. As a prototype design, the building has not been tailored in any way to specifically address the Town's Guidelines. (Example photographs of an existing store with the same general design have been provided for the Board's review.) The Guidelines repeatedly emphasize similar themes that new structures should: "reflect the traditional architecture and character of the Town" (pg. 4), be "compatible with the prevailing and recognized historic architectural character of the surrounding area" (pg. 6), "incorporate those characteristics of the Town that exhibit a positive distinctive architectural style" (pg. 7), and "respect Purcellville's historic architectural styles rather than be transplants of ubiquitous franchise architectural styles found across the country" (pg. 10).
2. The prototype design is largely unarticulated while the Guidelines encourage dividing walls into structural bays, breaking wall façades with vertical and horizontal articulation, and breaking storefront façades with elements that are human scale. (See *Façade Articulation*, pg. 12)
3. Other than the glass used for the entry vestibule, the storefront lacks windows which are encouraged by the Guidelines. Alternatively, the Guidelines recommend "closed in" glass storefront displays when "windows are not desired given the function of the building" (pg. 14).
4. The Guidelines discourage the use of primary colors on façade exteriors (pg. 15) while the metal roof and downspouts along the front façade and gutters for the entire building are proposed as "Southern States Blue." (It is unclear whether the remainder of the roof would utilize the same color.)
5. The proposed windows lack any of the articulations recommended by the Guidelines such as shutters, holdbacks, cornices and sills (pg. 15).
6. Dark bronze aluminum doors and storefront framing are proposed for the building. The Guidelines state a preference for wood over aluminum, but when aluminum is necessary, a pre-finished color is preferred. However, mill and dark bronze finishes are strongly discouraged (pg.17).
7. The Guidelines include the proposed metal siding and unfinished wood within the list of "discouraged" building materials (pg. 18). (Note that all "unfinished" wood would receive a clear seal coating.)
8. Exposed steel columns are proposed, but these are not allowed by the Guidelines (pg. 19). (Note that all of the steel columns would be painted.)
9. The proposed columns lack the traditional base and column expression encouraged by the Guidelines (pg. 19).
10. The applicant is proposing to screen external equipment with farm equipment that will be displayed in the area, but the Guidelines require the method of screening to be "architecturally integrated with the structure in terms of materials, color, shape and size" (pg. 19).

ACTION:

Note that due to the meeting being rescheduled without the placement of a public notice in the newspaper, the BAR is ***prohibited*** from taking any formal action at this meeting.


$$3/4^n = 1'-0$$

PARTITION NOTES

1. NON-LOAD BEARING PARTITIONS SHALL BE 3 5/8" X 25 GA. METAL STUDS @ 16" O/C WITH 1/2" GYPSUM BOARD EACH SIDE UNLESS OTHERWISE INDICATED ON PLAN.
2. ALL PARTITIONS SHALL EXTEND 8" MINIMUM ABOVE CEILINGS UNLESS OTHERWISE NOTED.
3. PARTITIONS SHALL BE BRACED TO THE ROOF STRUCTURE ABOVE AT REQUIRED.
4. PROVIDE SOUND CAULKING AT BASE AND SIDE WALLS AT ALL OFFICES AND TOILETS.
5. PROVIDE DOUBLE STUDS AND BLOCKING AS REQUIRED FOR SUPPORT OF EQUIPMENT, WALL CABINETS, GRAB BARS, COT RACKS, ETC.
6. DIMENSIONS ON FLOOR PLAN ARE TO FACE OF METAL STUDS.


$$3/32'' = 1'-0'$$
[illegible]

BEAMON & ASSOCIATES, P.C.
CONSULTING ENGINEERS
20833 Dabney Road Richmond, VA 23233
Phone (804) 355-8366 Fax (804) 278-9146

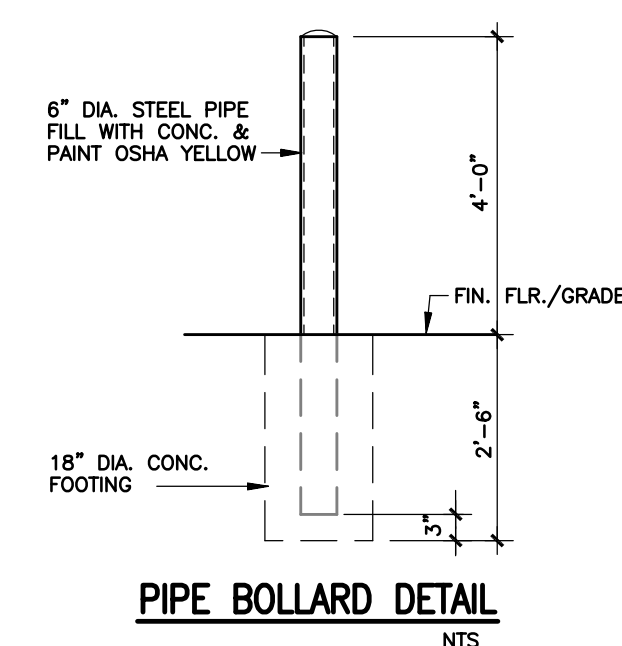
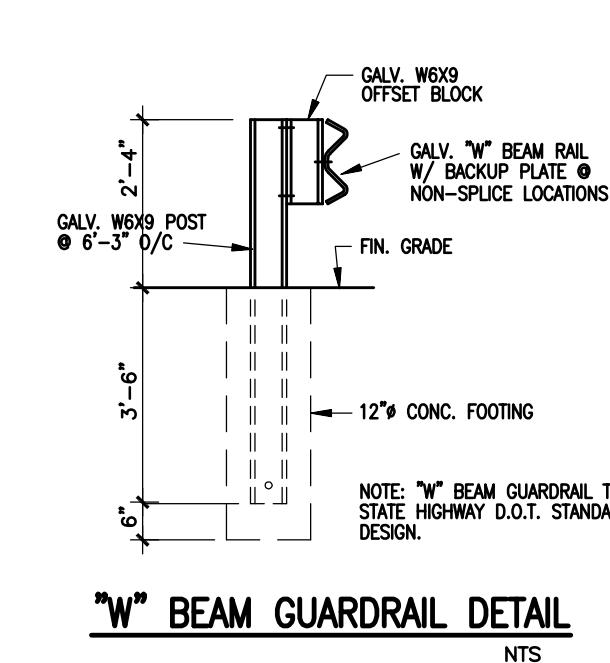
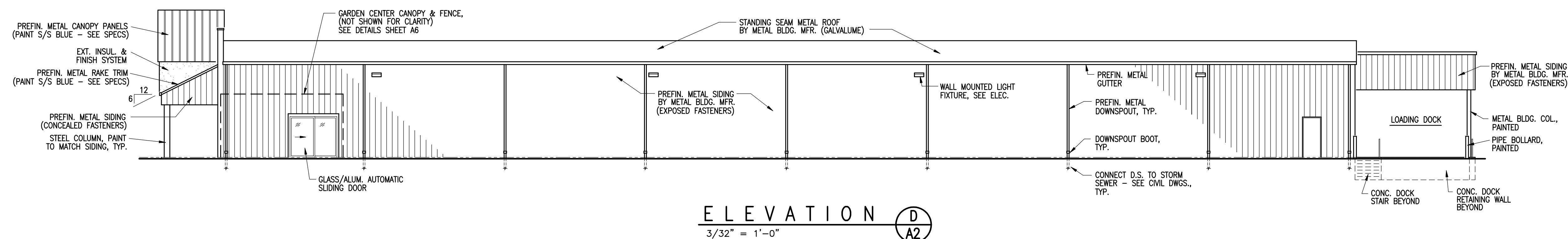
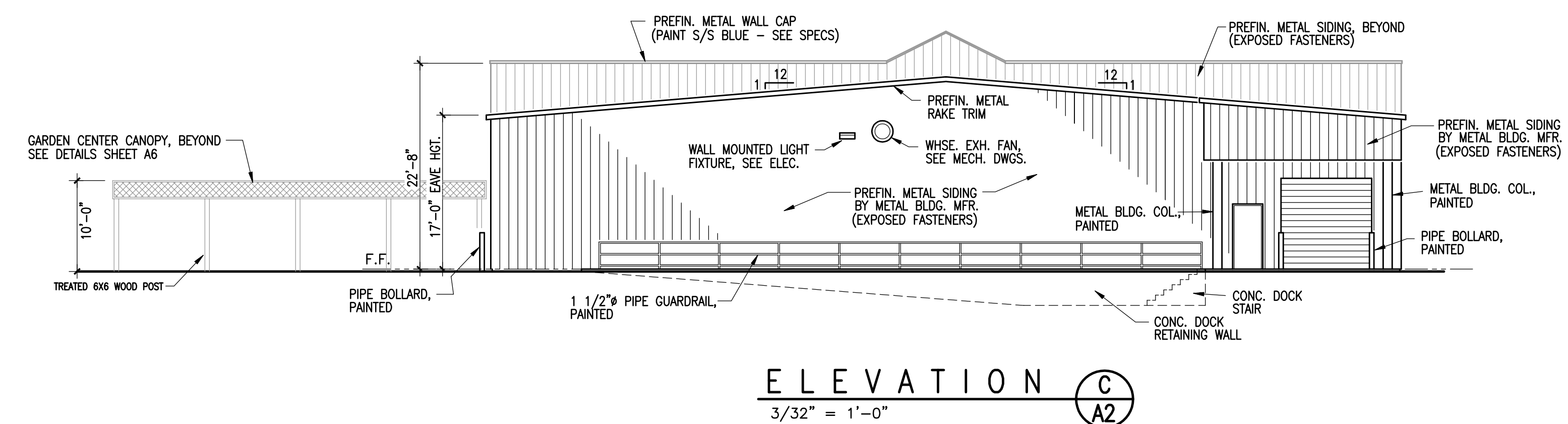
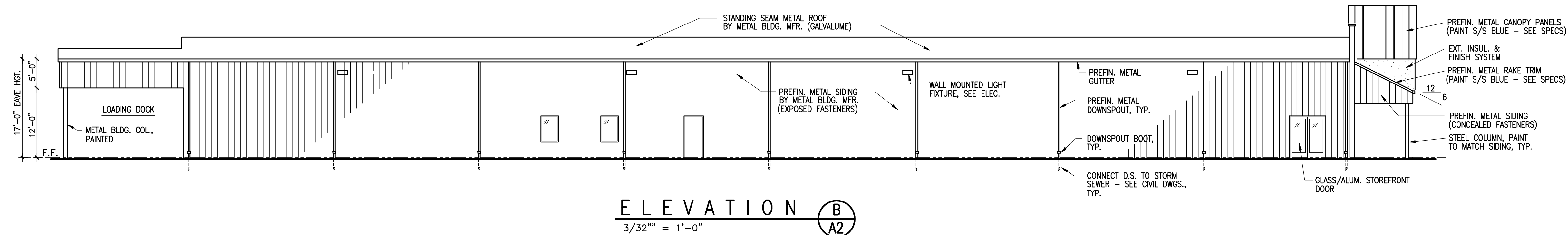
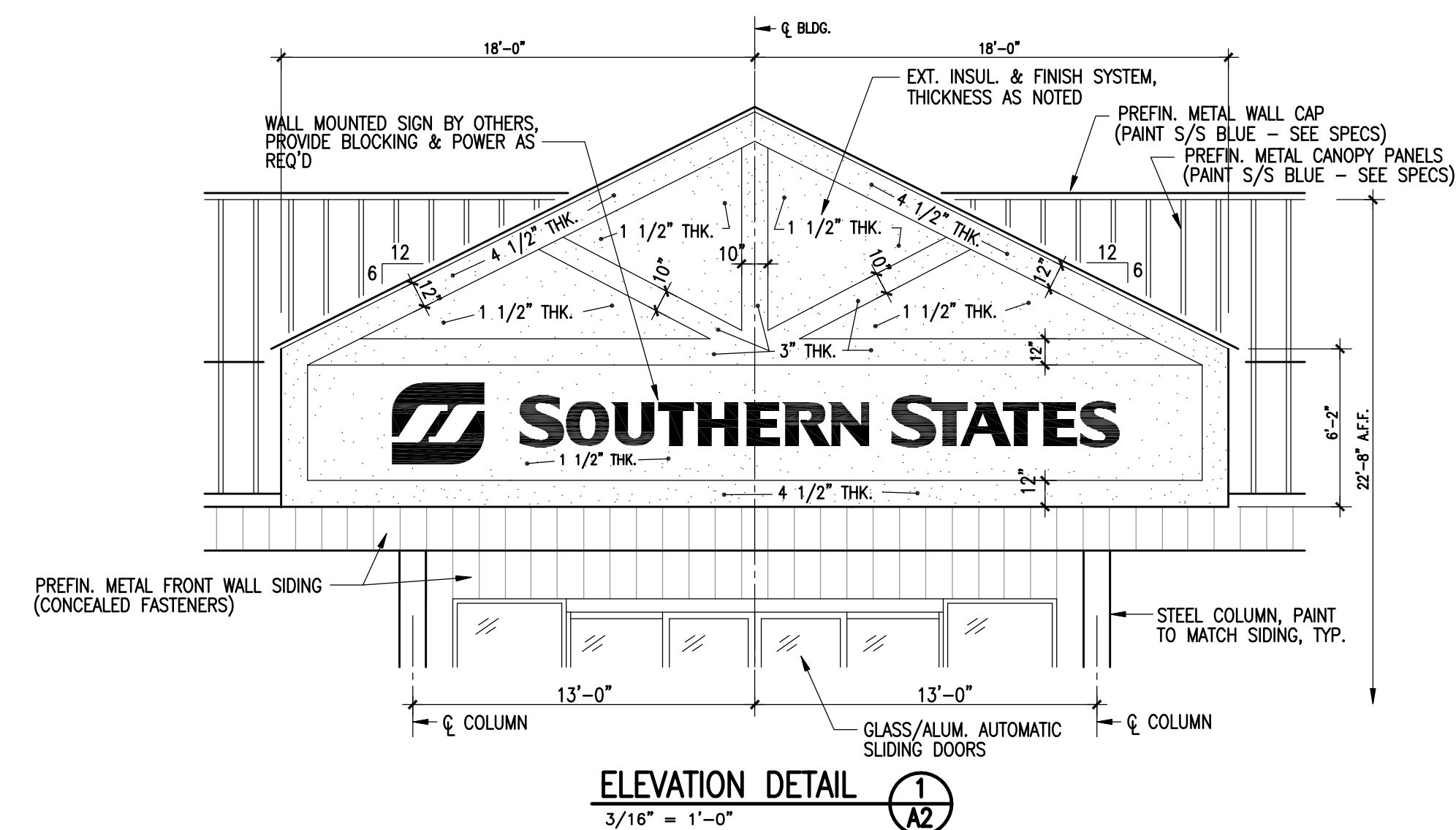
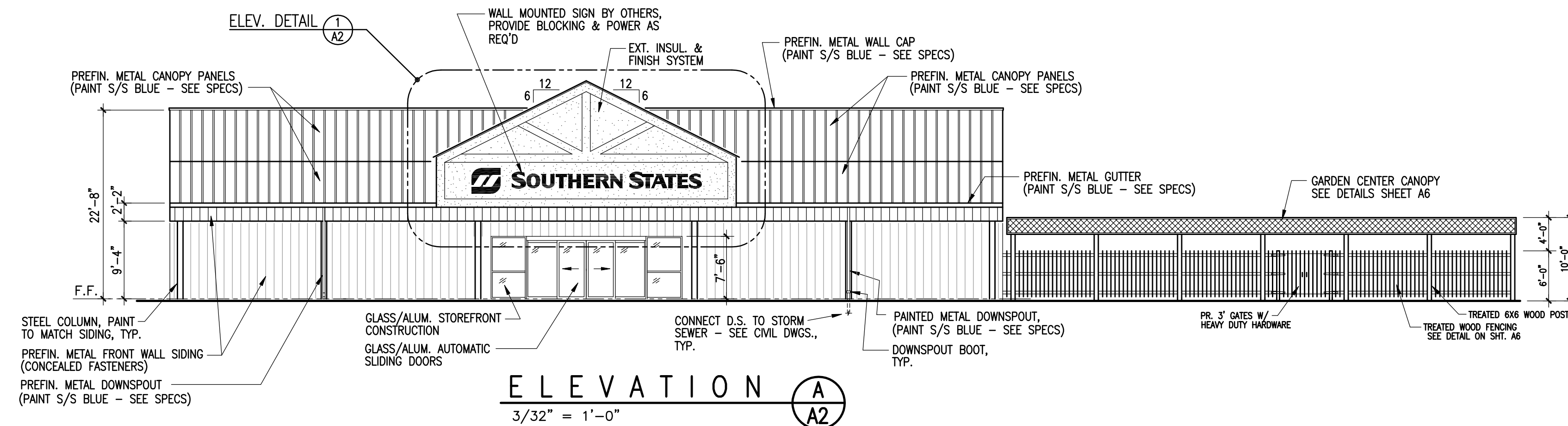
LE: FLOOR PLAN

PROTOTYPE RETAIL FACILITY

SOUTHERN STATES COOPERATIVE, INC.

FILE:
JOB: 4004
DATE:

SHEET NO.: A1 OF

[illegible]

BEAMON & ASSOCIATES, P.C.
CONSULTING ENGINEERS
2083 Dabney Road Richmond, VA 23230
Phone (804)355-8366 Fax (804)278-9146

SHEET TITLE: BUILDING ELEVATIONS PROJECT: PROTOTYPE RETAIL FACILITY SOUTHERN STATES COOPERATIVE, INC.

FILE:
JOB: 3603-1
DATE:

SHEET NO.: A2 OF



Mr. Daniel Galindo, AICP
Town of Purcellville
221 S. Nursery Avenue
Purcellville, Virginia 20132
(540) 338-2304 Phone

In response to your questions regarding discrepancies in the plans and application submitted for BAR consideration, I have prepared the following responses:

1. The building elevations and a dimensioned outline of the building (floor plan would suffice) must be resubmitted at a minimum scale of $\frac{1}{4}'' = 1'$ per Section 54-76(b)(2) of the Town Code.
A new set of Architectural drawings have been prepared and submitted of the floor plan and exterior elevations of the building in the required scale.
2. Color Clarification: It is not clear to me which of the colors on the supplied ATAS color sheet are applicable to the colors noted on the drawings.
 - a. I note that the sheet has an Acrylic Coated Galvalume while "Galvalume" is called out on the drawings and that a Dark Bronze Anodized is on the sheet while the application states that the storefront is to be dark bronze. Do these correspond? If not, what examples are to be used?
Galvalume is the general type of metal panel to be used on the main roof of the new building. The exact panel may vary slightly based on the manufacturer of the metal building. The canopy and storefront will use different materials from the main roof section.
 - b. None of the supplied colors appear to match the blue in the color photos of the existing Southern States store, so I am assuming that none of these colors are "Southern States Blue." If I'm wrong, which color corresponds?
The "Model Store" plans call for "Southern States Blue" on the front canopy metal roof and wall panels. You are correct that there is no exact color match provided by Atas (or any other manufacturer). We have found if we can get metal panels in a very close color from the manufacturer, they will give a finish warranty that exceeds any paint we could use on the metal panels. The color from Atas that we intend to use for the canopy roof and wall panels is Regal Blue.
 - c. Which gray will be used for the stucco?
The stucco will be painted with our "Southern States Gray" which is a light gray acrylic paint (see pictures provided of other stores).
 - d. Which tan will be used for the wall panels under the canopy?
The wall panels will be a board and batten style (MPW120 – see cut sheet provided) in the color Rawhide. I will bring a sample of the panel and color to the BAR meeting.

- e. What color is proposed for the metal siding on the remaining 3 sides of the building?
Once again, since each contractor that bids the project may use a different metal building manufacturer, we cannot give a particular color. Our general guideline is to use a light gray color similar to "Southern States Gray".
 - f. What color is proposed for the downspouts on the remaining 3 sides of the building?
We will use the same Regal Blue color for all gutters. Downspouts will be Regal Blue on the front, while matching the wall panel color of the main building on the sides and back.
 - g. What colors are proposed for the loading dock door and other doors around the building?
Color of all doors will be gray (to be selected by SS based color chart provided by contractor's supplier/manufacturer).
 - h. What color is proposed for the painted pipe guardrail?
The guardrail around the HVAC equipment will remain galvanized steel.
 - i. What color is the exposed metal building column proposed to be painted?
There will be no exposed metal building columns outside. Inside the store they will be painted to match the wall color (antique white).
- 2. Is the treated wood fencing to be left natural? Stained? Painted? What about the Garden Center canopy?
All exposed wood will receive a clear seal coating.
 - 3. The location of any mechanical equipment should be shown as well as any proposed screening.
Air handling equipment will not be located on the roof, but will be inside the warehouse area. Exterior components will be located at the rear left side of the building and will be screened by farm equipment that is on display in this area.
 - 4. PDFs or printed copies of the light fixture manufacturers' sheets should be provided separately from the plan set.
I have now provided the requested lighting manufacturers' sheets.

Regards,

Jonathan Bishop

Project Supervisor

Real Estate and Construction

Office: (804) 281-1341

Mobile: (804) 314-4130

Fax: (804) 287-1088

SouthernStates.com





CERTIFICATE OF DESIGN APPROVAL

221 S. Nursery Avenue Purcellville, VA 20132
Phone: 540-338-2304 Fax: 540-338-7460

CDA # 14-05

Please fill out all information in order to ensure the scheduling of your agenda item

Street Address of Property: 261 North 21 Street Parcel #: 488-46-5723
Owner Name: Southern States Loudoun County Cooperative, Inc.
Business Name: Southern States
Authorized Agent (if applicable): Jonathan Bishop - Project Supervisor, Southern States
Mailing Address: 6606 W. Broad Street, Richmond, VA 23230
Daytime Telephone Number (s): (804) 281-1341

Project Description

☒ New construction ☐ Addition ☐ Alteration ☐ Accessory Structure ☒ Demolition
☐ Repainting ☐ Minor Landscaping Structure ☐ CDA Amendment ☐ Other: _____

Contractor: N/A
Address: _____ Phone: _____

Written Description Attach additional sheet, if necessary: Describe clearly and in detail the nature of the project, including exact dimensions for materials to be used (e.g., width of siding, windows and window trim, etc.)

Acknowledgement of Responsibility

I understand that all CDA application materials must be complete and must be submitted fourteen (14) days before the BAR meeting date and that I or an authorized representative must be present at the meeting; otherwise consideration will be deferred to the following meeting. I agree to comply with the conditions of this certificate and all other applicable Town regulations and to pursue this project in strict conformance with the plans approved by the BAR. I also understand that the BAR or Town Staff may need to perform an inspection of my property as it relates to this application. I understand that no changes are permitted without prior approval of the Town, and that failure to follow approved plans is a violation of the Purcellville Town Code and Zoning Ordinance.

Signature of Owner or Authorized Agent: 
Printed name: Jonathan D. Bishop

See reverse side of this form for required submission materials. Applications will not be accepted for scheduling without all required materials. The submission deadline for complete applications is fourteen days prior to the meeting date.

Architectural Materials Checklist:

This checklist is intended to assist you in preparing your application to the Board of Architectural Review. This is not intended to replace your application or any other requirements of the Design Guidelines and Standards.

Foundation:

Material: (example- Brick, Stone, Concrete, etc) _____

Concrete

Color: _____

Roofing:

Material: (example- standing seam metal, shingles, shakes, etc) _____

Standing Seam or Hidden Fastener Metal on Canopy Roof

Color: (example- copper, prefinished, painted, etc) *Southern States Blue*

Exterior Wall Surfaces:

Material(s): (example - brick, stucco, hardiplank siding, board and batten, etc)

Board & Batten Metal Wall Panels and Stucco

Color(s): *Stucco - Gray* *Canopy Wall Panels - Blue*
Wall Panels under canopy - Tan

Windows and Doors:

Window/Door Type: (example: Aluminum storefront, Double Hung, Casement, etc)

Dark Bronze Aluminum Storefront

Window/Door Material: (example: Wood, aluminum clad, vinyl clad, etc)

Muntins (example: true divided, simulated divided, etc)

Other Materials: (to include but not be limited to Shutters, trim, porches, chimneys, etc)

Material(s): *Wood fence at front of garden center.*

Black chainlink fence from corner of building to property line on west side and from end of garden center to property line on east side.

Color(s): _____

For alterations and renovations, if any changes are proposed to an existing structure's materials and/or color scheme please outline them below (attach a separate sheet if needed):



Loudoun County Cooperative
261 North 21st Street
Route 690 North
Purcellville, Virginia 20132
(540) 338-7136 Phone
(540) 338-4244 Fax

Southern States Loudoun County Cooperative, Inc. is planning to build a new Retail Farm & Home supply location to replace the existing 1950's facility. Loudoun County Cooperative has been in existence since 1934 serving the farming needs in Loudoun and the surrounding counties.

The Retail Farm & Home store design will be a 12,000 square foot building consisting of approximately 6,000 sq ft showroom, 5,000 sq ft warehouse and 1,000 sq ft office area. The conceptual exterior will consist of an "old country store" appearance, attempting to retain the rural tones of the county and emphasize our current business plan.

Demolition

The construction of a new store on the existing site will require the demolition of the existing 1950's building. The current design and condition of the existing store no longer suits the customers we serve. Today customers must walk up the concrete steps of the loading dock to enter the store showroom. The existing showroom and bathrooms are small and inadequate to meet today's codes and standards.

Work will be phased to allow for continued operation of the existing store while construction of the new store is completed. Only after the new store is ready to move in will the old store be demolished.

General Design Elements

The new store in Purcellville will be located on the same parcels that the existing store occupies with the front of the store facing 21st Street. The design elements of this store will be consistent with Southern States' newest "Model Store" plans.

Parking will be located in front of the building and along the sides as shown on the site plan. A garden center and outside farm equipment display area will be located to the east side of the building. A wood fence and trellis structure will be built along the front of the garden center. Black chain link fencing will be used from the front corner of the building

to the property line to the east, and from the end of the Garden Center fence to the property line to the west.

The front canopy of the building will consist of metal roof and wall panels as well as stucco (see front elevation drawings and pictures). Board and batten style metal wall panels will be used under the canopy (see MPW panel profile sketch; sample to be provided at meeting).

An enclosed vestibule will be centered under the canopy and have sliding glass doors on each end. A double sliding glass door will lead from the vestibule to the retail showroom. The vestibule will be dark bronze aluminum storefront with clear glass.

Recessed can lighting will be provided under the canopy. Exterior wall packs and parking lot lighting will be provided as needed (see exterior lighting plan provided).

New landscaping will be provided along the road frontage as required by the Town of Purcellville and will include both trees and shrubs.

The two existing entrances to the site will be relocated. For this reason repairs will be necessary to the sidewalk along 21st Street.

Market Considerations

The showroom merchandise will concentrate on products for the homeowner and attempt to develop a product mix to suit the changing needs of Loudoun County. As the agricultural landscape changes in the county, we realize we must adjust our marketing focus and sell the right product mix to meet the needs of the "rural lifestyle". Homeowners are relocating to Loudoun County for it's rural attributes. We feel we can offer a newly expanded product line to keep their purchases in the county.

Southern States Loudoun Cooperative believes its planned use of the property will greatly improve the site and continue to provide a valuable service to the county. While our focus to serve the needs of the core agriculture producer will not change, we feel we must adjust our customer awareness as the agricultural landscape continues to change. Construction of a new retail facility will improve the Cooperative's visibility within the county and, we believe, benefit more citizens in the surrounding area with improved product selection and service.



Google earth











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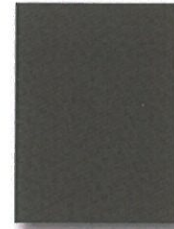
Black (02) SRI:-2



Forest Green (11) SRI:29



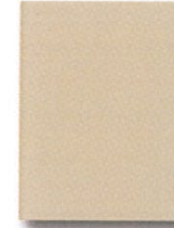
Regal Blue (18) SRI:23



Boysenberry (25) SRI:27



Sierra Tan (09) SRI:37



Sandstone (06) SRI:66



Bone White (26) SRI:85



Classic Bronze (01) SRI:2



Hemlock Green (30) SRI:30



Siam Blue (14) SRI:35



Redwood (07) SRI:18



Dove Grey (13) SRI:58



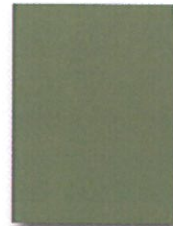
Concord Cream (05) SRI:78



Ascot White (10) SRI:96



Medium Bronze (03) SRI:33



Patina Green (12) SRI:47



Slate Blue (21) SRI:31



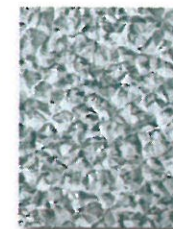
Brite Red (17) SRI:58



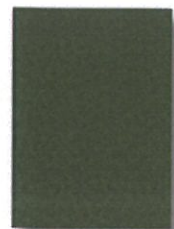
Clear Anodized (70) SRI:92



Dark Bronze Anodized (71) SRI:6



Acrylic Coated Galvalume (97) SRI:56



Chocolate Brown (04) SRI:25



Mint Green (22) SRI:37



Rocky Grey (16) SRI:29



Mission Red (08) SRI:33



Silversmith (28) SRI:51



Antique Patina (24) SRI:25



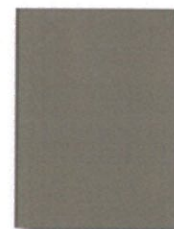
CRRC COOL ROOF RATING COUNCIL



Hartford Green (27) SRI:23



Teal (19) SRI:26



Slate Grey (20) SRI:39



Rawhide (15) SRI:64



Champagne (31) SRI:62

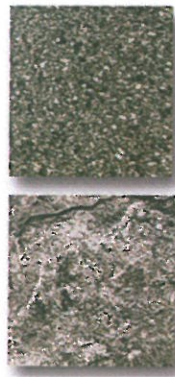


Coppertone (23) SRI:57



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SRI: 48



Baja Slate (BS)
SRI: 25



Quarry Slate (QS)
SRI: 31



Willow Slate (WS)
SRI: 29

Weathered Stone (WN)
SRI: 25



Shaded Spruce (SS)
SRI: 22

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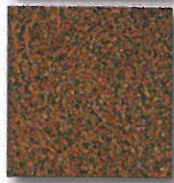
Granite (63)



Mahogany (61)



Timberwood (33)



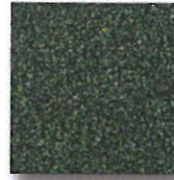
Terra Cotta (32)



Mission Red (08)



Midnight Blue (65)



Forest Green (11)



Slate (38)



Weathered Wood (34)



Charcoal (62)

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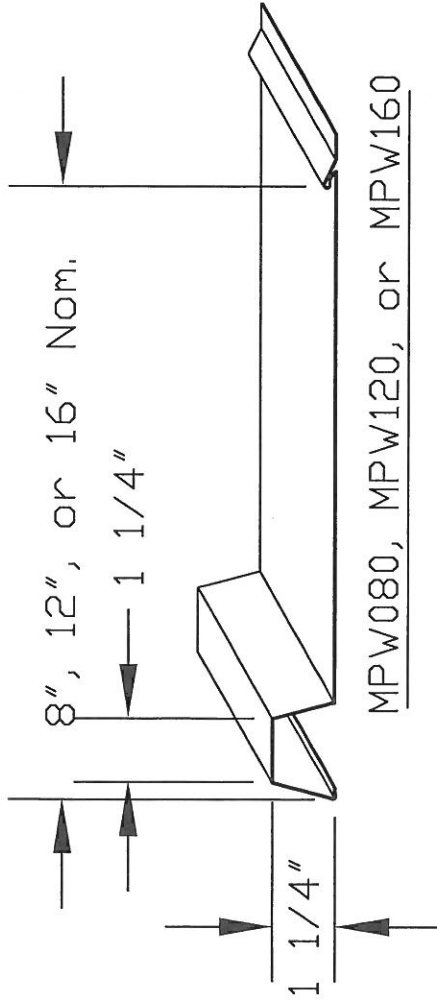
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Color Number (refer to number on front) * = Available Material and Thickness + = Available with minimum quantities	Steel Gauge			Aluminum			Initial Solar Reflectance	Initial Thermal Emittance	Solar Reflectance Index
	29	24	22	.032	.040	.050 .063 .080			
Classic Bronze	01	•	•	•	•	•	0.09	0.85	2
Black	02	•	•	•	•	•	0.06	0.85	-2
Medium Bronze	03	•	•	•	•	•	0.32	0.85	33
Chocolate Brown	04	•	•	•	•	•	0.27	0.85	25
Concord Cream	05	•	•	•	•	•	0.65	0.85	78
Sandstone	06	•	•	•	•	•	0.57	0.85	66
Redwood	07	•	•	•	•	•	0.21	0.85	18
Mission Red	08	•	•	•	•	•	0.32	0.87	33
Sierra Tan	09	•	•	•	•	•	0.35	0.87	37
Ascot White	10	•	•	•	•	•	0.77	0.88	96
Forest Green	11	•	•	•	•	•	0.29	0.87	29
Patina Green	12	•	•	•	•	•	0.43	0.85	47
Dove Grey	13	•	•	•	•	•	0.51	0.84	58
Slam Blue	14	•	•	•	•	•	0.34	0.85	35
Rawhide	15	•	•	•	•	•	0.55	0.85	64
Rocky Grey	16	•	•	•	•	•	0.28	0.88	29
Brite Red	17	•	•	•	•	•	0.51	0.85	58
Regal Blue	18	•	•	•	•	•	0.25	0.84	23
Teal	19	•	•	•	•	•	0.26	0.88	26
Slate Grey	20	•	•	•	•	•	0.36	0.87	39
Slate Blue	21	•	•	•	•	•	0.31	0.86	31
Mint Green	22	•	•	•	•	•	0.35	0.86	37
Boysenberry	25	•	•	•	•	•	0.28	0.85	27
Bone White	26	•	•	•	•	•	0.70	0.87	85
Hartford Green	27	•	•	•	•	•	0.25	0.85	23
Char Brown (not shown)	29	•	•	•	•	•	0.35	0.89	38
Hemlock Green	30	•	•	•	•	•	0.30	0.86	30
Acrylic Coated Galvalume®	97	•	•	•	•	•	0.68	0.14	58
Mill Finish Aluminum (not shown)	99	•	•	•	•	•	—	—	—
Premium									
Coppertone	23	•	•	•	•	•	0.50	0.86	57
Antique Patina	24	•	•	•	•	•	0.26	0.86	25
Silversmith	28	•	•	•	•	•	0.47	0.81	51
Champagne	31	•	•	•	•	•	0.55	0.79	62
Clear Anodized	70	•	•	•	•	•	0.77	0.70	92
Dark Bronze Anodized	71	•	•	•	•	•	0.15	0.77	6

KYNAR 500® PVDF is a registered trademark of Arkema. HYLAR 5000® PVDF is a registered trademark of Solvay Solenis, Inc. Advanta® is a trademark of ATAS International, Inc. Colors are as close to the actual colors as modern printing allows. Exact color chips on request; this is a requirement for all premium colors. If you have requirements or preference for colors or finishes other than shown, contact ATAS. Color availability varies by material, gauge and profile. ATAS is not responsible for colors selected from this chart. ATAS reserves the right to modify, eliminate and/or change its products without prior notification. Contact ATAS for more information.

*Typical applications for Advanta® Americana Classic Series and Granitile™ are roofs on either commercial or residential buildings. Both are lightweight, and ideal for installation over existing roofs without the need for tear-off and disposal (subject to local codes).

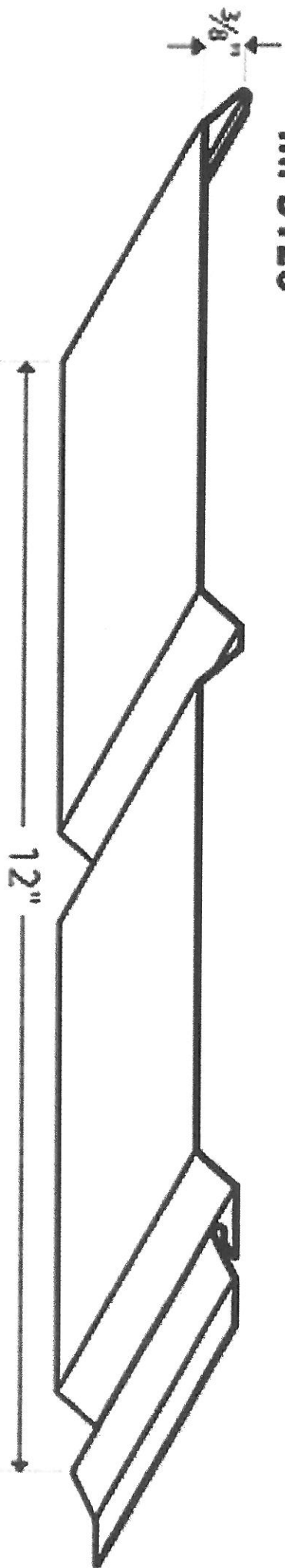


ATAS INTERNATIONAL, INC.
 Allentown PA
 610-395-8445
 Mesa AZ
 480-558-7210

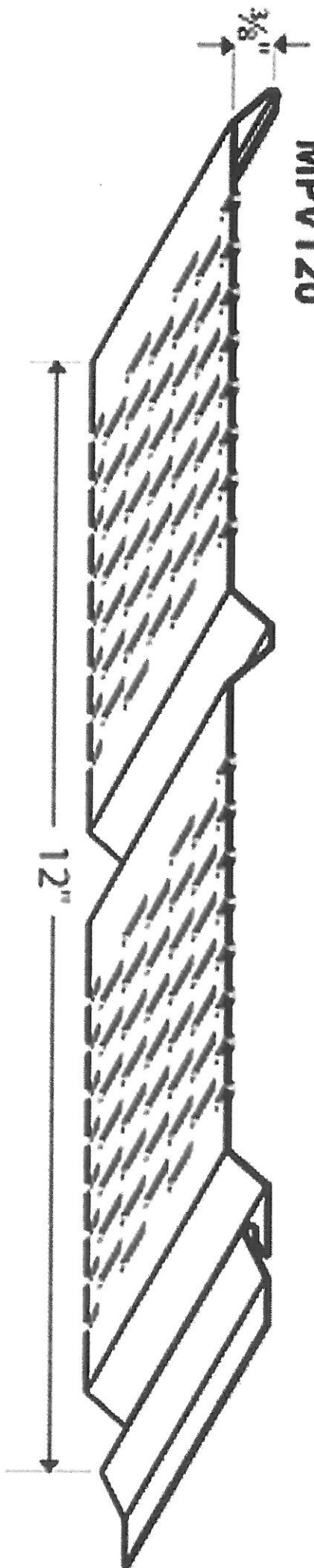
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DWG NO. / FILE NO.		MPW080, MPW120, or MPW 160					
DRAWN BY		DAS	DATE	3-6-06	APPR. BY	JEB	DATE
REVISION NO.		XXXX	REVISION DATE	MM/DD/YY	APPR. BY	XXXX	APPR. DATE
Rev. No.		0	6-1-06	MPW080, MPW120, or MPW 160		MM/DD/YY	

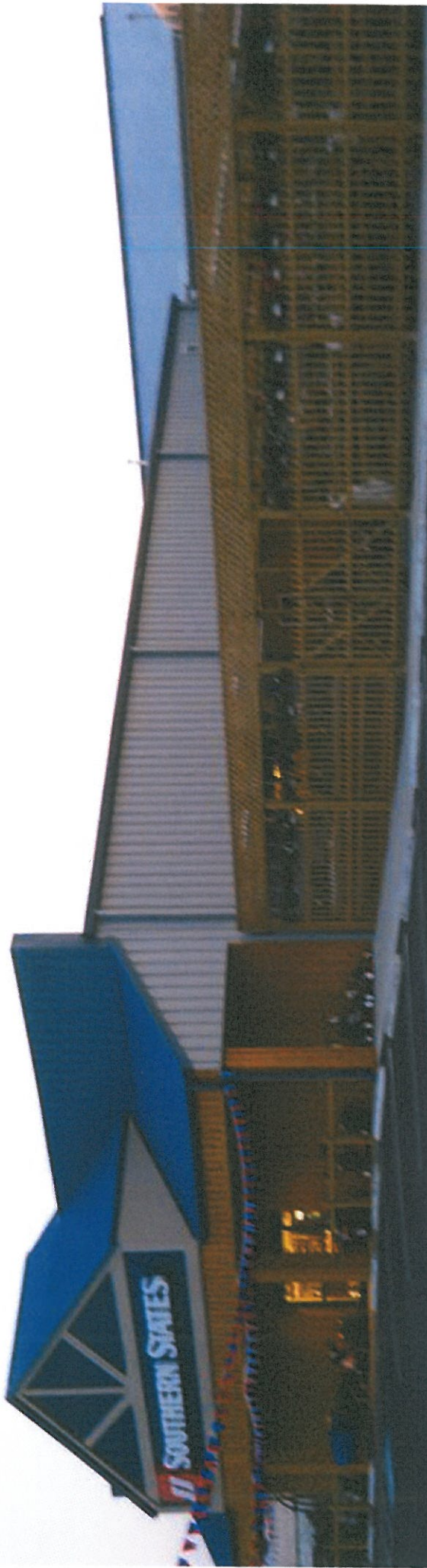
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MPS120

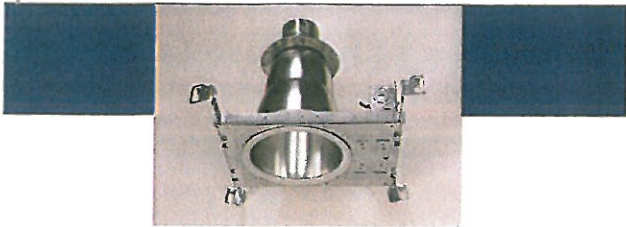


MPV120

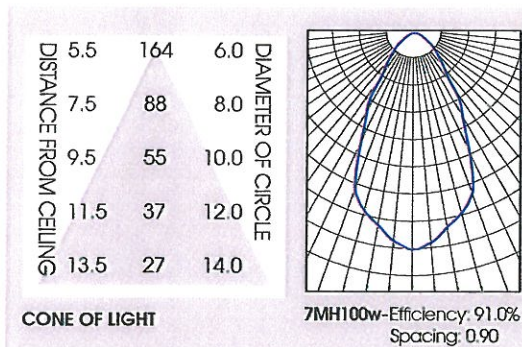
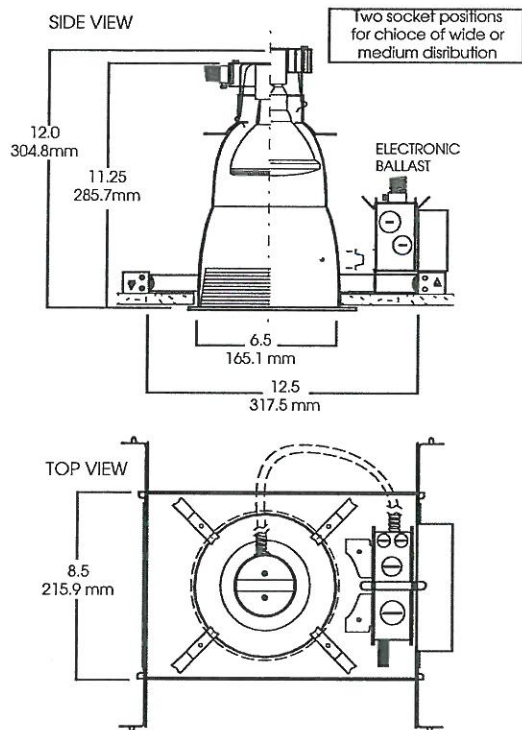




04.15.2011



- 7" MH Series.
- Available open.
- 20 gauge galvanized steel frame.
- 12" bar hangers expandable to 24" standard.
- .0625 spun aluminum reflector.
- Junction box pre-wired, grounded.
- Electronic ballast 120/277v standard.
- Ballast serviceable from the ceiling aperture.
- Suitable for use in damp location. Lensed fixture has Wet Location option.
- UL listed to standard no. 1598.



Dimensions shown are nominal. Spectrum Lighting is continually improving products and reserves the right to make changes that will not alter performance or appearance with or without written notice.

SPECTRUM
LIGHTING, INC.
www.speclight.com

7" DEEP MH SERIES DEEP PAR30/38 OPEN REFL/BAFFLE 100 WATT MAX

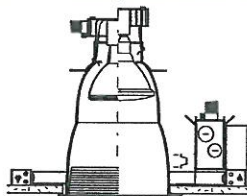
7MH
SPECTRUM
SILVER SERIES™

1. SPECIFY FRAME

FRAME	WATTS	BALLAST	LAMP	OPTIONS
SP7MH- Spectrum Silver 7" Metal Halide	70 100	EX -120/277	PAR 38	FS-Fuse holder and fuse BH27-27" Mounting Bars (2 per set) PR-Plaster Ring 1-430 RM-Remodeler Housing 1-450 SCA-Slope Ceiling Adaptor 1-435 TBC-T-bar clips 1-475 QRS120-Quartz Restrike- 120v QRS277-Quartz Restrike- 277v
SP7MH	100	EX		FS/

2. SPECIFY TRIM

OPEN



TRIM #	FINISH	OPTIONS
7300	SG-Soft Glow CL-Clear Alzak GO-Gold Alzak HZ-Haze PW-Pewter UM-Umber Alzak WE-Wheat Alzak BL-Black Finish WH-White Finish PF-Polished Flange	PF-Polished Flange BF-Black Flange BB-Black Micro Baffle WB-White Micro Baffle

7300 SG PF

3. FINISHED ORDER:

SP7MH100EX/7300 SG

PROJECT:

TYPE:

CAT. NO.:



994 Jefferson Street, Fall River, MA 02721 508.678.2303 FAX 508.678.2260



FEATURES & SPECIFICATIONS

INTENDED USE — For building- and wall-mounted applications.

CONSTRUCTION — Rugged, die-cast, single-piece aluminum housing. Die-cast doorframe has 1/8" thick tempered glass lens. Doorframe is fully gasketed with one-piece solid silicone.

Finish: Standard finish is textured dark bronze (DDBT) corrosion-resistant polyester powder finish. Additional architectural colors are available. Striping is also available.

OPTICS — Segmented reflectors for superior uniformity and control. Medium throw (MD) full cutoff downlight distribution available. Two uplight distributions available: MDU (medium throw, 10% up), and MDUS (up/down medium throw, 50% up 50% down).

ELECTRICAL — Ballast: Class P, multi-volt electronic, high power factor, <10% THD, with starting temperature of 0°F (-18°C).

Socket: High temperature thermoplastic with integral lamp retention clip.

INSTALLATION — Universal mounting mechanism with integral mounting support allows fixture to hinge down. Bubble level provides correct alignment with each installation.

LISTINGS — UL Listed (standard). CSA Certified (see Options). Suitable for wet locations (damp location listed in lens-up orientation). WLU option for wet location listing in up orientation (see Options). IP65 Rated. 25°C ambient. ELED: U.S. Patent No. 7,737,640.

WARRANTY — 1-year limited warranty. Complete warranty terms located at

www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

Note: Specifications subject to change without notice.

Catalog Number
Notes
Type

Decorative Wall-Mounted Lighting



WSR

COMPACT FLUORESCENT:

26W DTT

26W-42W TRT

Specifications

Length: 18 (45.7)

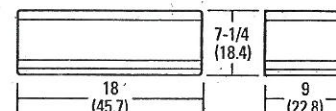
Depth: 9 (22.8)

Overall Height: 7-1/4 (18.4)

*Weight: 30 (13.6 kg)

All dimensions are inches (centimeters) unless otherwise indicated.

*Weight as configured in example below.



Consistent with LEED® goals & Green Globes® criteria for light pollution reduction

ORDERING INFORMATION

For shortest lead times, configure product using standard options (shown in bold).

Example: WSR 42TRT MD MVOLT LPI

Series	Wattage	Distribution	Voltage	Ballast	Mounting	Options
WSR	26DTT	<u>Downlight distributions</u>	120	(blank) Electronic 0° F	(blank) Surface mount	<u>Shipped installed in fixture</u>
	2/26DTT	MD Medium throw	277		<u>Shipped separately</u> ²	DC12 Emergency circuit 12-volt (35W lamp included) ³
	26TRT	<u>Up/down distributions</u>	347		BBW Surface mount back box	2DC12 Emergency circuit 12-volt (two 35W lamps included) ³
	2/26TRT	MDU Medium throw with 10% uplight (coated lamp std.)	MVOLT ¹		UT5 Uplight 5 degrees	DC2012 Emergency circuit 12-volt (20W lamp included) ³
	32TRT					2DC2012 Emergency circuit 12-volt (two 20W lamps included) ³
	2/32TRT	MDUS Up/down medium throw with 50% uplight and 50% downlight (coated lamp std.)				DFL Diffusing lens
	42TRT					
	2/42TRT					

Options (continued)					Finish ¹⁴		Lamp ¹⁶		
EC	Emergency circuit ⁴	GMF	Internal slow-blow fusing ^{5,7}	<u>Shipped separately</u> ¹³	(blank)	Dark bronze, textured	LPI	Lamp included	
ELDW	Emergency battery pack (32°F min. operating temp.) ^{5,6,7}	PE	Photoelectric cell-button type ^{5,13}	WG	Wire guard	DSST	Sandstone, textured	L/LP	Less lamp
ELDWC	Emergency battery pack (0°F min. operating temp.) ^{5,6,7,8,9}			VG	Vandal guard	DNAT	Natural aluminum, textured		
ELDWR	Fixture wired ready for Bodine® B30 battery pack (battery pack not included; 32° min. operating temp) ⁵	WLU	Wet location door for up orientation			DWHG	White, textured		
ELDWRPS	Fixture wired ready for PS1400 or PSDL remote battery pack (battery pack not included; 32° min. operating temp) ^{5,10}	CSA	CSA certified			DBLB	Black, textured		
ELED	Emergency LED secondary source battery pack with time delay (-4°F min. operating temperature) ^{11,12}	NOM	NOM certified			CRT	Non-stick protective coating ¹⁵		
2ELED	Emergency LED secondary source (two modules) battery pack with time delay (-4°F min. operating temperature) ^{11,12}					<u>Super Durable Finishes</u>			
						DDBXD	Dark bronze		
						DBLXD	Black		
						DNAXD	Natural aluminum		
						DWHXD	White		
						DDBTXD	Textured dark bronze		
						DBLBXD	Textured black		
						DNATXD	Textured natural aluminum		
						DWHGXD	Textured white		



FEATURES & SPECIFICATIONS

INTENDED USE

Ideal for mounting above entryways and loading docks.

CONSTRUCTION

Rugged, corrosion-resistant die-cast aluminum back housing and hinged door frame. Castings are sealed with a one-piece gasket to inhibit the entrance of external contaminants. Lens is thermal- and shock-resistant clear tempered glass. Finish is bronze polyester powder paint for lasting durability.

OPTICS

Anodized aluminum reflector, provides IES cutoff distribution. Optional full cutoff visor available.

Medium-base lamp included in carton.

ELECTRICAL

HID: Ballast is high-reactance, high-power-factor for 70-150W. Ballast is 100% factory-tested.

Socket: Medium-base socket, nickel-plated screw shell and center contact.

INSTALLATION

Housing is configured for mounting directly over a standard 4" outlet box or for surface wiring via any of three convenient 1/2" threaded conduit entry hubs.

LISTING

UL Listed to US and Canadian safety standards (see Options). Suitable for wet locations (25°C maximum ambient temperature).

Specifications subject to change without notice.

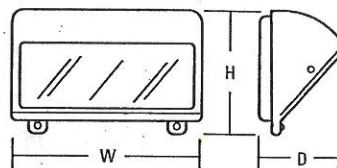
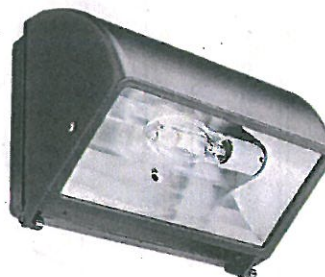
Catalog Number
Notes
Type

Cutoff Wall Packs

TWR1C

METAL HALIDE: 70-175W

HIGH PRESSURE SODIUM: 70-150W



Specifications

Height: 10-1/4 (26.0)

Width: 13 (33.0)

Depth: 8-1/2 (21.5)

*Weight: 16.45lbs/ 7.46kg

All dimensions shown in inches (centimeters) unless otherwise noted.

*Weight as configured in example below.



Consistent with LEED® goals
& Green Globes™ criteria
for light pollution reduction

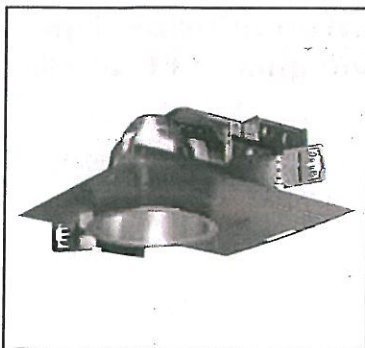
ORDERING INFORMATION

Example: TWR1C 100M TB LPI

Catalog Number	Wattage	Voltage	Photocell included	Lamp included	Available in Canada
Metal halide					
TWR1C 70M 120/347 LPI CSA	70	120/347	N	Y	Y
TWR1C 70M TB LPI	70	120/208/240/277	N	Y	N
TWR1C 100M 120/347 LPI CSA	100	120/347	N	Y	Y
TWR1C 100M TB LPI	100	120/208/240/277	N	Y	N
TWR1C 150M 120 PE LPI	150	120	Y	Y	Y
TWR1C 150M 277 PE LPI	150	277	Y	Y	Y
TWR1C 150M TB LPI	150	120/208/240/277	N	Y	N
TWR1C 175M 120/347 LPI CSA	175	120/347	N	Y	Y
High pressure sodium					
TWR1C 70S 120/347 LPI CSA	70	120/347	N	Y	Y
TWR1C 70S TB LPI	70	120/208/240/277	N	Y	N
TWR1C 100S 120/347 LPI CSA	100	120/347	N	Y	Y
TWR1C 100S TB LPI	100	120/208/240/277	N	Y	N
TWR1C 150S 120/347 LPI CSA	150	120/347	N	Y	Y
TWR1C 150S TB LPI	150	120/208/240/277	N	Y	N

Accessories: Order as separate catalog number.
Shipped separately

TWR1C FCV U Full cutoff visor
TWR1C WG U Wireguard



6" Horizontal Triple Open & Wall Wash Downlight CFT632HEB

One 26W, 32W, or 42W Triple Tube 4-Pin Lamp
Non-IC Rated
120V, 208V, 240V, 277V, or 347V

Featuring VirtualSource55 Reflectors

Featuring VirtualSource Reflectors

APPLICATIONS:

The CFT632HEB offers a horizontally lamped compact fluorescent downlight and wall wash fixture that provides superior brightness and glare control. The multi-watt multi-volt ballast provides the ability to change wattages by simply replacing the lamp. This luminaire is ideal for a wide variety of low to medium height ceiling applications including commercial, retail, and hospitality. The CFT632HEB is compatible with the Signos6 family of architectural elements.

HOUSING:

One-piece 18-gauge galvanized steel platform. Prewired J-box with snap-on cover for easy access. Vented at lamp tip and socket for maximum light output. Same housing accommodates downlight and wall wash downlight reflectors.

REFLECTOR:

High purity aluminum Alzak Virtual Source® iridescence suppressed reflector. Self-trim standard. Painted white self-trim available. Baffled units standard with painted white self-trim.

BALLAST:

One (1) compact fluorescent Class 'P' electronic multi-volt (120V through 277V) ballast suitable for operating 26W, 32W, and 42W triple tube lamps. EOL protection standard. Accessible from below ceiling. 347V available (specify wattage when ordering).

LAMP:

One (1) 26W (GX24q-3 base), 32W (GX24q-3 base), or 42W (GX24q-4 base) 4-pin triple tube compact fluorescent lamp. Lamps furnished by others or as option below.

SOCKET:

One (1) injection molded socket suitable for 26W, 32W, and 42W triple tube lamps (vented).

INSTALLATION:

Universal adjustable mounting brackets accommodate 1 1/2" or 3/4" lathing channel or 1/2" EMT (by others), or Prescolite 24" bar hangers (B24 or B6).

LABELS:

UL listed or UL/CSA listed with CDN option for damp locations. Approved for through wiring.
Non-type I.C.

LAMP INCLUDED OPTION:

Specify lamp type T (Triple 4-pin) and temperature as shown below.

DATE:

TYPE:

FIRM NAME:

PROJECT:

Architektur

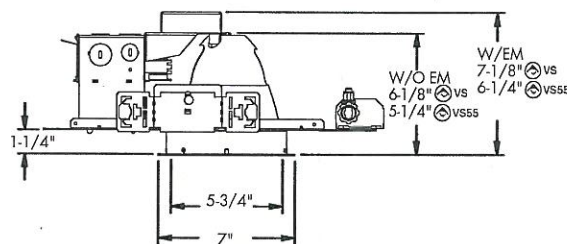
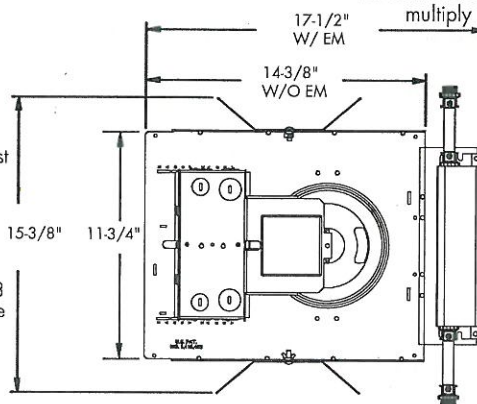


Ceiling Cutout: 6 1/4"

Maximum Ceiling Thickness: 1 1/4"

For conversion to millimeters, multiply inches by 25.4

Not to Scale



CATALOG NUMBER:

EXAMPLE: CFT632HEBDMEM STF602HCG LP32T30K B24

HOUSING	HOUSING OPTIONS	HOUSING OPTIONS	HOUSING OPTIONS	REFLECTOR	REFLECTOR COLOR	ACCESSORIES
<input type="checkbox"/> CFT632HEB 6" 26W 32W/42W triple tube, multi-volt electronic ballast <input type="checkbox"/> CFT632HEB55 ¹² 6" 26W 32W/42W triple tube, multi-volt electronic ballast, 55 Degree Cut-off	<input type="checkbox"/> CDN Canadian electrical code compliant ballast disconnect <input type="checkbox"/> CDN 347V ¹ Canadian electrical code compliant ballast disconnect <input type="checkbox"/> CP ^{5,8} Chicago Plenum. Fixture construction and/or specifications may vary. Refer to Chicago Plenum prescolite.com for details. <input type="checkbox"/> DM Electronic Analog Dimming Ballast to 5%, 4-wire (specify voltage/wattage; 120V-277V)	<input type="checkbox"/> ECDM ¹¹ Lutron EcoSystem or 3-wire line voltage dimming ballast (120-277V). Dims to 5%. <input type="checkbox"/> HDM ^{2,3} Lutron Hi-Lume Dimming Ballast to 1%, 3-wire line voltage (specify supply voltage/wattage) <input type="checkbox"/> 2DM ^{2,3} Lutron Tu-Wire Dimming Ballast to 5%, 2-wire line voltage (120V only) <input type="checkbox"/> 7DM Advance Mark 7 Dimming Ballast to 5%, 4-wire, 0-10V, analog (120V-277V) (specify wattage) <input type="checkbox"/> XDM Advance Mark 10 Dimming Ballast to 5%, 2-wire, line voltage (specify voltage/wattage) <input type="checkbox"/> WIH wiHUBB® Enabled (see page 4)	<input type="checkbox"/> EM ^{6,13,14} Emergency battery pack with integral test switch and indicator light <input type="checkbox"/> FSDFA Fuse kit installed at factory <input type="checkbox"/> RIF ^{13,14} Radio interference filter (single circuit) <input type="checkbox"/> MW26 Max Wattage label, 26W <input type="checkbox"/> MW32 Max Wattage label, 32W <input type="checkbox"/> SYL ⁹ Osram Sylvania Ballast (available only for standard EB option) <input type="checkbox"/> SMT ¹³ Philips Advance SmartMate® Ballast	<input type="checkbox"/> STF602H 6" Alzak reflector <input type="checkbox"/> STF602H55 ¹² 6" Alzak reflector, 55 Degree Cut-off <div style="border: 1px solid black; padding: 5px; text-align: center;">REFLECTOR FINISH</div> <input type="checkbox"/> Blank Specular <input type="checkbox"/> SS Semi-Specular <input type="checkbox"/> MFC ⁷ American Matte™	<input type="checkbox"/> Blank Clear Alzak <input type="checkbox"/> CG Champagne Gold Alzak <input type="checkbox"/> BL Black Alzak <input type="checkbox"/> WE Wheat Alzak <input type="checkbox"/> LW Light Wheat Alzak <input type="checkbox"/> PW Pewter Alzak <input type="checkbox"/> BC ^{4,7,10} Painted black cone <input type="checkbox"/> WC ^{4,7,10} Painted white cone	<input type="checkbox"/> B24 Set of two (2) 24" bar hangers for T-bar ceilings <input type="checkbox"/> B6 Set of two (2) bar hangers for ceiling joists up to 24" centers <input type="checkbox"/> FSDFI Fuse kit for field installation <input type="checkbox"/> SCA6D Sloped ceiling adapter (see note on back page) <input type="checkbox"/> Signos6 ^{6,10} Architectural glass elements Refer to specification sheets ARCH-SIG-001 through -004 <div style="border: 1px solid black; padding: 5px; text-align: center;">REFLECTOR OPTIONS</div> <input type="checkbox"/> WT Painted white self-flange <input type="checkbox"/> BB ^{4,7,10} Painted black baffle <input type="checkbox"/> WB ^{4,7,10} Painted white baffle <input type="checkbox"/> WW ⁷ Wall wash reflector <input type="checkbox"/> TRG Trim Ring Gasket (factory installed)
						<div style="border: 1px solid black; padding: 5px; text-align: center;">LAMP ACCESSORIES</div> <input type="checkbox"/> LP -wattage= 26, 32, or 42 -type= T (Triple 4-pin) -temp=27K, 30K, 35K 41K (Kelvin) *Example: LP32T41K

¹Dimming options not available in 347V.

²Not available with 42W lamps.

³For 26W, 32W, or 42W CFL lamps specify CFT626HEB, CFT632HEB, or CFT642HEB housing and add desired dimming option suffix.

⁴Not available with MFC or semi-specular finishes.

⁵Top access required to service ballast for Chicago Plenum.

⁶Not valid with lensed trim.

⁷Not available with STF602H55 reflector.

⁸Contact Technical Support for availability with CFT632HEB55.

⁹Available for Osram Sylvania Quick 60+® Limited Warranty when used with Osram lamp(s). See www.prescolite.com for details.

¹⁰Not available for wall wash

¹¹For 42W specify CFT642HEB ECDM or CFT642HEB55 ECDM

¹²55° option must be chosen on both the housing and reflector

¹³Not available for 347V

¹⁴Not available with CP option

PHOTOMETRIC DATA

Architektür - 6" Horizontal Triple Open & Wall Wash Downlights - CFT632HEB

CFT632HEB55-STF602H55

with Specular Clear Alzak Reflector

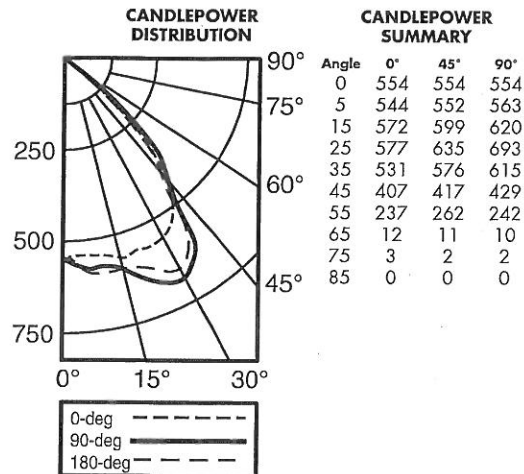
Lamp: One 32W Triple

Spacing Criteria:

0° = 1.5

90° = 1.6

Efficiency: 59.2%



Test No. 2682

LUMINANCE DATA IN CANDELA/SQ. METER



Angle in Vertical	Average 0°	Average 90°	Average 180°
45°	34345	36201	35695
55°	24655	25175	21742
65°	1694	1412	1412
75°	692	461	461
85°	0	0	0

Test No. 2682

COEFFICIENTS OF UTILIZATION

Zonal Cavity Method

Room Cavity Ratio	% Effective Ceiling Cavity Reflectance				% Effective Floor Cavity Reflectance			
	80%	70%	50%	30%	20%	10%	5%	0%
	% Wall Reflectance							
	70	50	30	10	70	50	30	10
1	.66	.64	.62	.61	.65	.60	.60	.58
3	.57	.52	.48	.45	.56	.45	.50	.44
5	.49	.43	.38	.35	.48	.35	.41	.34
7	.43	.35	.31	.28	.42	.28	.34	.27
9	.37	.30	.25	.22	.36	.22	.29	.22



CFT632HEB55-STF602H55 Test No. 2682



AVERAGE INITIAL FOOTCANDLES ON WORKPLANE

Assumptions:

1. Ceiling 80% Wall 50% Floor 20%
2. 4 Luminaires evenly spaced in the center of the room.
3. The room is square and has a width and length equal to twice the luminaire spacing (LS).
4. RCR is Room Cavity Ratio.
5. Dirt and Lumen Depreciation Factors are 1.0
6. Ballast Factor is 1.0 for ballasted fixtures.
7. h_{rc} is height between fixtures and workplane

RCR7	Standard Reflector	55 Degree Option
LS(Feet)	Average Initial  vs	Average Initial  vs55
h_{rc} (Feet)	Footcandles	Footcandles
7.0	16	17
8.0	12	13
9.0	9	10
10.0	8	8

Test No. PL5221/2682

NOTES

 vs Denotes a Virtual Source reflector.

Refer to www.prescolite.com for additional photometric tests (IES Files).

When ordering a sloped ceiling adapter, specify the degree of slope in 5° increments, max. of 35°. For a more precise degree or wet ceiling applications, please contact factory. Sloped ceiling adapter and housing must be installed at the same time.

Note: Use of horizontally-lamped open downlights with amalgam-based CFL lamps in air-handling plenums is not recommended because cool air flow over the lamps will result in reduced light output. Prescolite recommends vertical lamp downlights or use of the regressed lensed trim option for horizontal downlights in these applications to reduce this effect. Refer to Prescolite White Paper WP0003 at www.prescolite.com for more information.



Web: www.prescolite.com • Tech Support: (888) 777-4832
701 Millennium Blvd. • Greenville, SC 29607 U.S.A. • Phone (864) 678-1000
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Hubbell Lighting, Inc.

SECTION 07410 - PREFORMED METAL PANELS

PART 1 - GENERAL

1.1 DESCRIPTION:

Provide all labor, materials and equipment necessary to install the front wall metal siding, front canopy metal roof, metal soffit and soffit suspension system including all accessories, snow guards, ridges, hips, valleys, related flashings, clips, underlayment, etc.

1.2 REFERENCES

- A. ASTM A653/A653M - Standard Specification for Steel Sheet, Zinc-Coated or Zinc-Iron Alloy Coated by Hot-Dip Process
- B. ASTM A755/A755M - Standard Specification for Steel Sheet, Metallic Coated by the Hot-Dip Process and Prepainted by the Coil Coating Process for Exterior Exposed Building Products
- C. ASTM A792/A792M - Standard Specification for Steel Sheet, 55% Aluminum-Zinc Alloy-Coated by the Hot-Dip Process
- D. ASTM E-1592 - Standard Test Method for Structural Performance of Sheet Metal Roof and Siding Systems by Uniform Static Air Pressure Difference

1.3 QUALITY ASSURANCE:

- A. Manufacturer's Qualifications:
 - 1. All panels are to be factory formed and packaged per job requirements.
 - 2. Manufacturer shall have a minimum of ten years experience in the factory fabrication of metal roof panels.
 - 3. Specification is based on the products of Atas International, Inc. Other manufacturers of metal panel systems shall be accepted as an alternate with prior approval.
- B. Installer: Company shall specialize in this type of work and not have less than five years experience.

1.4 SUBMITTALS:

- A. Submit manufacturer's current product specifications and installation instructions.
- B. Submit shop drawing showing plan and elevations as required. Drawings shall include details of trim and flashing conditions, fastening and anchoring methods, etc.

1.5 DELIVERY, STORAGE AND HANDLING

- A. Deliver all materials in original unopened packages with labels intact.
- B. Protect materials from damage during transit and at project site. Store under cover but sloped to provide positive drainage. Do not expose materials with strippable film to direct sunlight or extreme heat.

1.6 WARRANTY

- A. Submit manufacturer's standard 20 year finish warranty for color retention, adhesion and chalking.
- B. Submit 2 year weathertightness and workmanship warranty from installer.

PART 2 - PRODUCTS

2.1 MATERIALS:

- A. Front Canopy Roof Panels: Atas International, Inc. panel "MPW-12", 24 gauge steel, smooth texture, with Kynar 500 or Hylar 5000 finish.
- B. Front Wall Metal Siding: Atas International, Inc. panel "DWF", 24 gauge steel smooth texture, with Kynar 500 or Hylar 5000 finish.
- C. Metal Soffit Panels: "Wind-Lok" MPV120 panels by Atas International, Inc., rollformed .024 aluminum with white polyester finish.
- D. Colors shall be selected from manufacturers standard.

2.2 ACCESSORIES

- A. Provide formed flashing, trim, etc. in same gauge and finish as the primary panel system.
- B. Provide corrosion resistant fasteners as required for project conditions and panel type in accordance with manufacturers recommendations.
- C. Provide all other accessories necessary for complete system.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Installer shall examine all substrates on which the panels are to be applied for compliance with Contract Documents and panel manufacturer's recommendations. Notify Engineer of any discrepancies prior to commencing work.
- B. Installer shall field verify all necessary dimensions prior to fabrication of materials.

3.2 INSTALLATION

- A. Install metal panels and accessories in strict accordance with manufacturer's instructions and shop drawings.
- B. Protect surfaces from contact with cementitious materials and other dissimilar metals with bituminous paint or other coatings.
- C. Fasten panels to structural supports using fasteners provided by or approved by panel manufacturer. Install panels plumb, level, and true to line.
- D. Fully interlock panels or nest with adjacent panels: apply sealant as required to achieve weathertight installation.
- E. Install roof panels with no transverse seams.
- F. Remove protective film immediately after each panel is installed.

- G. Do not allow shavings, metal dust or chips to fall on panels or adjacent surfaces.
- H. Care shall be taken during handling of panels to prevent bending, twisting, abrasion, scratching, denting, etc.
- I. Workmanship shall comply with standards established by the Architectural Sheet Metal Manual.
- J. Where staging of this work occurs on other surfaces provide means to protect these surfaces from damage.

3.3 ADJUSTING AND CLEANING

- A. Touch-up minor abrasions with matching paint provided by the panel manufacturer. Remove and replace panels that cannot be satisfactorily touched up. See Metal Construction Association Technical Bulletin #95-1051.
- B. Sweep and remove all chips, shavings and dust from roof on a daily basis.
- C. Upon completion of installation, remove scraps and debris from project site.

END OF SECTION

SECTION 09900 - PAINTING

PART 1 - GENERAL

1.1 RELATED DOCUMENTS:

The General Provisions of the Contract including the General, Supplementary and Special Conditions apply to the work specified in this Section.

1.2 DESCRIPTION:

Furnish all labor, equipment and materials to do all interior and exterior painting as required for a complete job. The work shall also include surface preparation of substrates as required for acceptance of paint, including priming, cleaning, small crack repair, minor patching and caulking.

1.3 SUBMITTALS:

1. Submit Technical Data Sheets and Material Data Safety Sheets for all products for review.
2. Submit to Engineer a complete color chart for Owner's selection.

1.4 PRODUCT DELIVERY, STORAGE & HANDLING:

1. Deliver and store all paint materials in sealed, original labeled containers bearing manufacturers name, brand name, type of paint or coating and color designation.
2. Store materials not in use in tightly covered containers in well ventilated areas at a minimum ambient temperature as recommended by manufacturer.

PART 2 - PRODUCTS

2.1 PAINT MATERIALS:

Use of manufacturer product names to designate materials is not intended to imply that products name indicated are required to be used unless otherwise noted as "No Substitute Allowed". Materials from other manufacturers must be of equal or greater quality than that specified.

- A. Interior metal doors, frames, pipe bollards, etc.:
 1. First coat: Porter 286 Fast Dry Metal Primer
 2. Second coat: Porter 129 Alkyd Satin Enamel
- B. Exterior metal doors, frames, pipe bollards, etc.:
 1. First coat: Porter 286 Fast Dry Metal Primer
 2. Second coat: Porter 599 Acrylic House Paint
- C. Interior gypsum board:
 1. First coat: Porter 767 Primer/Sealer
 2. Second coat: Porter 689 Flat Latex Wall Paint

D. Interior gypsum board in toilets & electrical:

1. First coat: Porter 667 Primer/Sealer
2. Second coat: Porter 129 Alkyd Satin Enamel

E. Metal roof and siding at front canopy:

1. First & second coat: Sherwin Williams A-100 Exterior Gloss Latex (Color to match "Southern States Blue", mix formula provided by owner)

PART 3 - EXECUTION

3.1 GENERAL:

1. Perform preparation, cleaning and application procedures in strict accordance with paint manufacturer's instructions for each particular substrate condition. Comply with manufacturer's recommendations concerning environmental conditions under which the paint may be applied.
2. Verify environmental conditions are appropriate for application of paint specified.
3. Immediately prior to paint application examine surfaces to receive paint for surface imperfections, contaminants and moisture which could impair performance or appearance of the paint. If any of these conditions exist they shall be corrected before proceeding with paint application

3.2 PREPARATION OF SURFACES:

1. All surfaces shall be cleaned of foreign matter, dirt, dust, etc. before applying paint following manufacturer's recommendations..
2. Remove or protect hardware, electrical plates, grilles/louvers, lighting fixtures and other items not indicated to receive paint which are adjacent to surfaces to receive paint.

3.3 NUMBER OF COATS:

Apply number of coats shown above. Paint shall cover entire surfaces perfectly.

3.4 CLEAN-UP:

Clean all other surfaces of paint, etc. before final inspection.

END OF SECTION

**MINUTES
BOARD OF ARCHITECTURAL REVIEW
REGULAR MEETING**

**FEBRUARY 18, 2014
7:30PM**

The Regular Meeting of the Purcellville Board of Architectural Review convened at 7:30 p.m. and the following attended:

PRESENT: Dan Piper, Vice-Chairman
Jim Gloeckner, Board Member
Mark Ippoliti, Board Member

ABSENT: Pat Giglio, Chairman
Greg Wagner, Board Member
Keith Melton, Town Council Representative

STAFF: Patrick Sullivan, Director of Community Development
Daniel Galindo, Planner II
Tucker Keller, Planning Technician/Recorder

CALL TO ORDER:

The Regular Meeting of the Board of Architectural Review was called to order at 7:30PM.

PUBLIC COMMENT:

None

ACTION ITEMS – ADDITIONS, ALTERATIONS & DEMOLITIONS:

a) CDA 14-01 AutoZone (711 East Main Street)

Carolyn Thaemert preconstruction specialist for AutoZone came forward to speak. Ms. Thaemert went over some items with the BAR regarding their application.

Board member Piper made a motion that the BAR approve CDA 14-01 AutoZone with the following findings based on the design guidelines as well as the Zoning

Ordinance. For consistency within the complex, all of the trim will be wood, and it will be painted white with the exception of the red sash frames as depicted on the CE-1 drawing. The door will be a white aluminum or wood at the applicant's choice. The true divided light will be maintained and sized as is currently on the façade, so the proposed raised sill will not be allowed. You will use the sill location that is currently in place. In lieu of a black opaque glazing, for consistency within the complex, we are going to require the light grey spandrel. All infill brick will match the existing building, and while it wasn't on the application, we agree that the service door in the rear can be painted red.

Motion: Board member Piper
Second: Board member Ippoliti
Carried: 3-0-2 with Giglio and
Wagner absent

b) CDA14-02 Mary Ellen Stover Antiques Awning Fabric Replacement (120 N. 21st Street)

Board member Gloeckner made a motion that Board accept the approved sample of a beige with maroon and green striped canopy fabric for CDA14-02 Mary Ellen Stover Antiques Awning Fabric Replacement.

Motion: Board member Gloeckner
Second: Board member Piper
Carried: 3-0-2 with Giglio and
Wagner absent

ACTION ITEMS - AMENDMENTS:

None Scheduled

ACTION ITEMS – NEW CONSTRUCTION:

None Scheduled

DISCUSSION ITEMS:

a) Content of Meeting Minutes

The BAR discussed what they would like to see in the contents of the minutes and it was decided that they would summarize what they wanted to say within the motion.

INFORMATION ITEMS:

- a) Results of Appeals to Town Council Regarding Vineyard Square

APPROVAL OF MINUTES

Board member Piper made a motion that December 18, 2013 minutes be approved as submitted.

Motion: Board member Piper
Second: Board member Gloeckner
Carried: 3-0-2 with Giglio and
Wagner absent

Board member Piper stated that he would like to attempt to clarify some things that he would suggest that we as a Town do better on related to this process specifically the staff reports. He wants the staff to know that he appreciates all of their effort but he takes issue with a lot of what is written in the reports. He stated that he needs to go through it and he needs to read through what he has written and it will be in the record and he can give a copy of what has been written to staff as well as to the Clerk. He also stated that he does not want staff to feel attacked by him. Board member Piper stated that he made it a point to take the report for the AutoZone because what it is not that controversial he has comments that relate directly to the report. He stated read the following into the record, "as appeals to the BAR decisions appear to be on the rise we have become increasingly aware of the content of comments from staff related to application. Since applicants rely on and use staff report content to further their position it is necessary for the BAR to point out inconsistencies and make corrections to the report for CDA14-01 for the record, the following comparison identifies some items that are not addressed along with items noted which are really not relevant to the project. It's unclear to the BAR why some items are noted and others are not, this discrepancy should be discussed and clarified. As an initial comment, any approvals by landlords or preferences by corporate entities are not relevant to a discussion on the appropriateness of a design or compliance with design guidelines, therefore should not be noted or considered, for clarity these comments should be read along with the staff report, so related to the zoning historic corridor overlay he would say that the BAR disagrees with finding number one because the balance and rhythm of the façade is in fact being altered by this application and the façade has in fact changed so to suggest that the proposal maintains the existing appearance of the building with primary modifications being adding a doorway and adding red framing is just not correct. Comment number two, it's unnecessary and not applicable to the project, comment number two had to do with the proposal does not modify the existing building to an extent that would alter its compatibility with other

structures in the vicinity, that's just not germane to the proposal. Comment number 3 is a true statement however it should not be a basis for approval or denial of any proposed design. This particular statement has to do with a business would be opening its first location in Purcellville therefore creating new jobs, our responsibility and as a design Board is to look at the design and not worry about the cost or the semantics or the process and all of that we are looking to protect the Town as well as keep the structures compatible with the rest of the Town. Comment number four the majority of materials, colors, textures, treatments etc., would remain consistent with the existing building, the red framing is requested to reflect colors of the Corporate identity. Again, the comment states that the colors remain consistent with the existing building with the potential exception of the proposed red framing. While I would disagree that this is a potential exception, it's clear and obvious that the proposed primary red color is in no way consistent with or sympathetic to the rest of the buildings. Also referencing the Corporate identify has nothing to do with the design appropriateness of the proposed color. Comment number five, the comment is about AutoZone's proposal maintains the buildings existing architectural elements which exhibit aesthetic durability and quality. This comment is unnecessary and not applicable because elements are not proposed to change. The fact that there is a statement in the zoning criteria or the design guidelines just because it exists doesn't mean we need to make a comment on it and what seems to be happening is a lot of comments are selected to get commented upon and other important ones are sort of ignored and you will see that as we go on. Number six the statement in the report is materials and treatments proposed are all durable materials and incorporate the applicant's corporate colors which serve as a subtle advertisement notifying perspective consumers of the businesses location and it's not cleanly offensive to human sensibilities nor does it constitute a foreseeable detriment to the community. This comment does not relate to design, it's subjective in nature and particularly the last sentence and it's inappropriate for the review because it's talking about human sensibilities which has nothing to do with the purpose of that particular requirement. Context and compatibility in relation to the Guidelines and what is written in Section 1 is that the proposal makes minor modifications to an existing, first of all the report doesn't list references to all items in this section of the design guidelines it just selects the rules of thumb portion to talk about which is D out of a number of sections so this goes to my point that later on we make comments about a lot of unnecessary sections and yet up front in the compatibility portion we elect to pick only certain ones for some reason which is not clear to me why, so Item 1 says that the proposal makes minor modifications to an existing building that exhibits positive distinctive architectural style, this project is not a new development, therefore the comment is not applicable, the whole context and compatibility section of the design guidelines is not, this portion is about new development not painting, trim work, those kinds of things so it's just out of context to even use this one in this report. Item 2 which was not addressed, Item 3 the project has no height and mass changes therefore the comment that was made is simply not applicable. Number 4 was not addressed for some reason. Number 5 the section addresses buildings and their respective orientation on the site, the comment therefore is unnecessary as the building footprint and orientation are unable to be changed and also no change is proposed so why waste the paper. Site development is the next section, the

building siting cannot be altered, comments therefore are completely irrelevant to the application and yet we talk about the primary entrance to the lease space maintaining current orientation, this is not necessary to say so there are five points under site development, we chose to talk about that one and we chose to talk about pedestrian access which again is unnecessary but for some reason it's in the report. Under C General Design Guidelines, the façade articulation section does become one that's more important, however section one, section two and section three were ignored. Section 3 is about infill projects so it probably didn't need to be talked about but Section 1 Character Preservation is really important when we are talking about these windows that need to be consistent, regardless of how well we like the building as an architect or as a person isn't the point, it's about how does it fit and what are the proposed changes doing to the big picture and is it right or wrong and this partly why, well I will talk about that in the end. Façade Articulation, Section 4 long blank unarticulated street facades is what the section is talking about and the comment is, "the application proposes no changes to the north or west walls of the building which are largely blank and unarticulated currently, proposed alterations to the front would maintain significant window and door openings" so I say that the BAR would agree in part with this comment however the statement "which are largely blank and unarticulated currently" is an unnecessary editorial comment and I think this is a good example because in the Vineyard Square application there was a lot of editorial comment and those applicants launched and sucked up every one of those editorial comments, put them in their report and used them against good design and that's the point. B says the front façade is articulated through the incorporation of numerous windows and a doorway, while the comment's true it's not applicable, the façade currently has multiple windows and is not unbroken with fenestration, nor is the proposed design unbroken so why bother. C large unbroken facades, now we are talking about the unbroken facades. It says facades, surfaces at the storefront level are broken by use of display windows which are broken by use of display windows which are consistent with those currently found on the building and brick. The statement is incorrect, the proposed storefronts are completely inconsistent with those found on the building, now as the applicant has further elaborated tonight we now know there wouldn't so they are more consistent but until then and based on the documents produced, there is no way that the writer of the report here or us as a BAR knows what they are proposing and this is also a common theme that seems to happen is we get documents that are not clearly developed enough for us to actually give an opinion, it happened at Vineyard Square, we sit here asking question after question and they can't even describe what they are doing because number one they don't know, it's still too conceptual yet they are in front of us and when they come in front of us it starts a timeline, once that timeline starts we have been instructed, we have no option but to render an opinion, either deny or approve and if the applicant is unwilling to work with us, whatever that means, then we have no choice so we are locked in so that's why it behooves the Town to ensure that the paperwork is complete enough for us to review and if it's not, we should turn it away and I don't care if they are pushing and saying I have a budget and I have 15 people in a room working on drawings and I have to get in front of them, if it isn't ready to review it isn't ready to review and if we can't say that because we don't know if they are ready by looking at it then we need to get someone who can assist knowing if they are ready and then have a

comment. The Standards for Rehabilitation section of the guidelines doesn't need a comment, Storefront Design, A was not addressed by the staff, windows must be compatible with façade themes, and this item deserved a comment. B says the proposal retains the existing covered arcade, the comments are unnecessary as the arcade is unchanging, it's in the overall building component it's not something that the tenant is going to be able to tear down and I don't know why it was necessary for that comment. C wasn't addressed, D is façade color, this comment is superfluous because the important item which was not mentioned in the report is that the infill brick must match the existing brick exactly, furthermore the red color is a façade component and it also should be addressed but those things were not brought up on the report. E talks about the field color of the façade will remain the existing brick and the predominant trim color which is white which is compatible with the rest of the building even the red of the proposed storefront framing is found on the building where signage related to the nearby businesses of Exxon, Walgreens and the Coney Island Diner and his comment is that this comment missed the point completely, the predominant color may be white however the red will be overpowering, we have since decided that the red is ok for a very good reason it's paintable now, if it was an aluminum frame I couldn't handle the red. This section of the design guidelines references compatible colors and red is not compatible with this building referenced in nearby buildings and particularly signage is completely irrelevant to making a major change to the façade of a building, signs come and go. F one base color should be used for the entire façade the comment is out of context because the reference to one base color is not about variations in material and we are talking about material differences when we are talking about the frame versus the brick versus wood and the façade whereas this item here is talking about paint or trim color and things like that so it's just out of context. G was not addressed. Board member Piper stated that he would skip ahead to the end but still had statements that wanted to be added that he felt were important. He stated that he found when he first wrote this he had to tone it way down because he found himself personalizing it rather than just reading the statements and asking what that statement means and he believes now it is reflective of that and that was a good exercise for him because when the BAR wrote the design guidelines the intent was that we are a small Town we are buds down the street from one another, that's the idea not that we have this legislative bureaucracy that won't allow or will allow and so it was written with a flavor that allowed you to move back and forth from one position to another while still using the credibility of the knowledge of the people here to help everyone make a good decision but what has moved toward is that the Design Guidelines are sort of set aside and the Zoning Ordinance takes precedent because someone said it did and therefore they have used the terminology that we put in the Design Guidelines that specifically says we're not here to overstep our bounds nor are we here to step on the Zoning Ordinance but let the Zoning Ordinance be what it is, it's for Zoning not to legislate design and that's what this was for and it's really gotten twisted and it's not anyone's fault it's just what happened and when the Design Guidelines were rewritten they completely improved them it was offered to certain people one of which was on the Vineyard Square team to review and they didn't like it, well of course not it limits their ability to do things for good reason so it was not adopted, that's the truth but the point is that unfortunately the reports have become an enemy to the Board, they don't help the

Board, we don't need those things written down, they are doing their job which is to take the Design Guidelines and go through it with every package they get and make comments that are right related to that process but now he has to go through five or six pages of the report and figure out what he has to do to defend real design.

Staff discussed some of the BAR's concerns with them and explained how the staff reports are put together.

BAR members indicated that they would prefer to have just the facts stated in a bullet format will serve the purpose for the BAR.

ADJOURNMENT:

There being no further business the meeting adjourned at 9:19PM

Dan Piper, Vice Chairman

Jennifer Helbert, Clerk

**MINUTES
BOARD OF ARCHITECTURAL REVIEW
REGULAR MEETING
MARCH 18, 2014
7:30PM**

The Regular Meeting of the Purcellville Board of Architectural Review convened at 7:30 p.m. and the following attended:

PRESENT: Pat Giglio, Chairman
Jim Gloeckner, Board Member
Mark Ippoliti, Board Member
Keith Melton, Town Council Representative

ABSENT: Dan Piper, Vice-Chairman
Greg Wagner, Board Member

STAFF: Daniel Galindo, Senior Planner
Tucker Keller, Planning Technician/Recorder

CALL TO ORDER:

The Regular Meeting of the Board of Architectural Review was called to order at 7:30PM.

PUBLIC COMMENT:

None

ACTION ITEMS – ADDITIONS, ALTERATIONS & DEMOLITIONS:

a) None Scheduled

ACTION ITEMS - AMENDMENTS:

None Scheduled

ACTION ITEMS – NEW CONSTRUCTION:

a) CDA14-03 Sun Trust Bank (160 Purcellville Gateway Drive)

John Laughton, representative for the applicant, came forward to speak and gave the Board a brief overview of what they are requesting.

Chairman Giglio made a motion that the BAR approve CDA14-03 SunTrust Bank as presented with the following conditions:

- 1) That the capital on the stone veneer columns have a trim detail on the column;
- 2) That the approval of the two stone veneers as presented be accepted; and
- 3) That the wall mounted lighting will match those in the existing center.

The Board also has the following two recommendations;

- 1) That the height and pitch of the roof, which defines the tower on the front elevation, be increased; and
- 2) That the size of the rake boards be increased on the gable end features in order to provide more detail and clarification of those gable ends.

Motion: Chairman Giglio
Second: Board member Gloeckner
Carried: 3-0 with Piper and Wagner
absent

DISCUSSION ITEMS:

- a) None Scheduled

INFORMATION ITEMS:

- a) None Scheduled

APPROVAL OF MINUTES

Chairman Giglio made a motion to approve the November 19, 2013 meeting minutes.

Motion: Chairman Giglio
Second: Board member Gloeckner
Carried: 3-0 with Piper and Wagner
absent

The Board decided to defer action on the February 18, 2014 minutes until Vice-Chairman Piper has reviewed them.

NEW BUSINESS:

Chairman Giglio stated that every year they have the Joint Architectural Review Board Awards which award outstanding projects within the Towns that are reviewed by the BAR. He stated that some of the categories that awards have been presented for in the past are for signage, rehabilitation and restoration, and new construction and building details. Chairman Giglio stated that he would like to nominate Catoctin Creek Distillery for the work that they did in the rehabilitation category.

ADJOURNMENT:

There being no further business the meeting adjourned at 7:57PM

Pat Giglio, Chairman

Jennifer Helbert, Clerk